

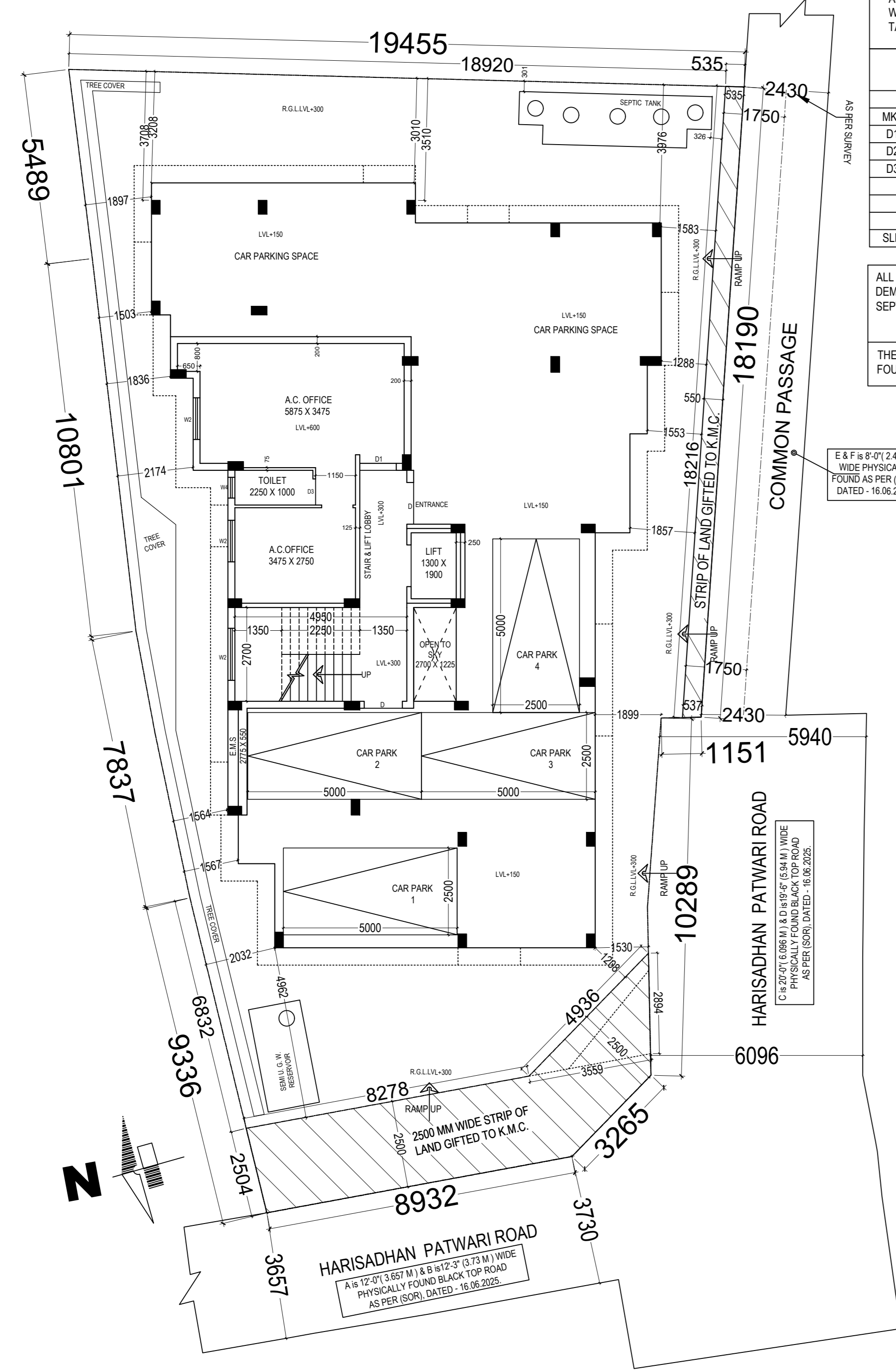
FRONT ELEVATION (SCALE - 1:100)

SOUTH SIDE ELEVATION (SCALE - 1:100)

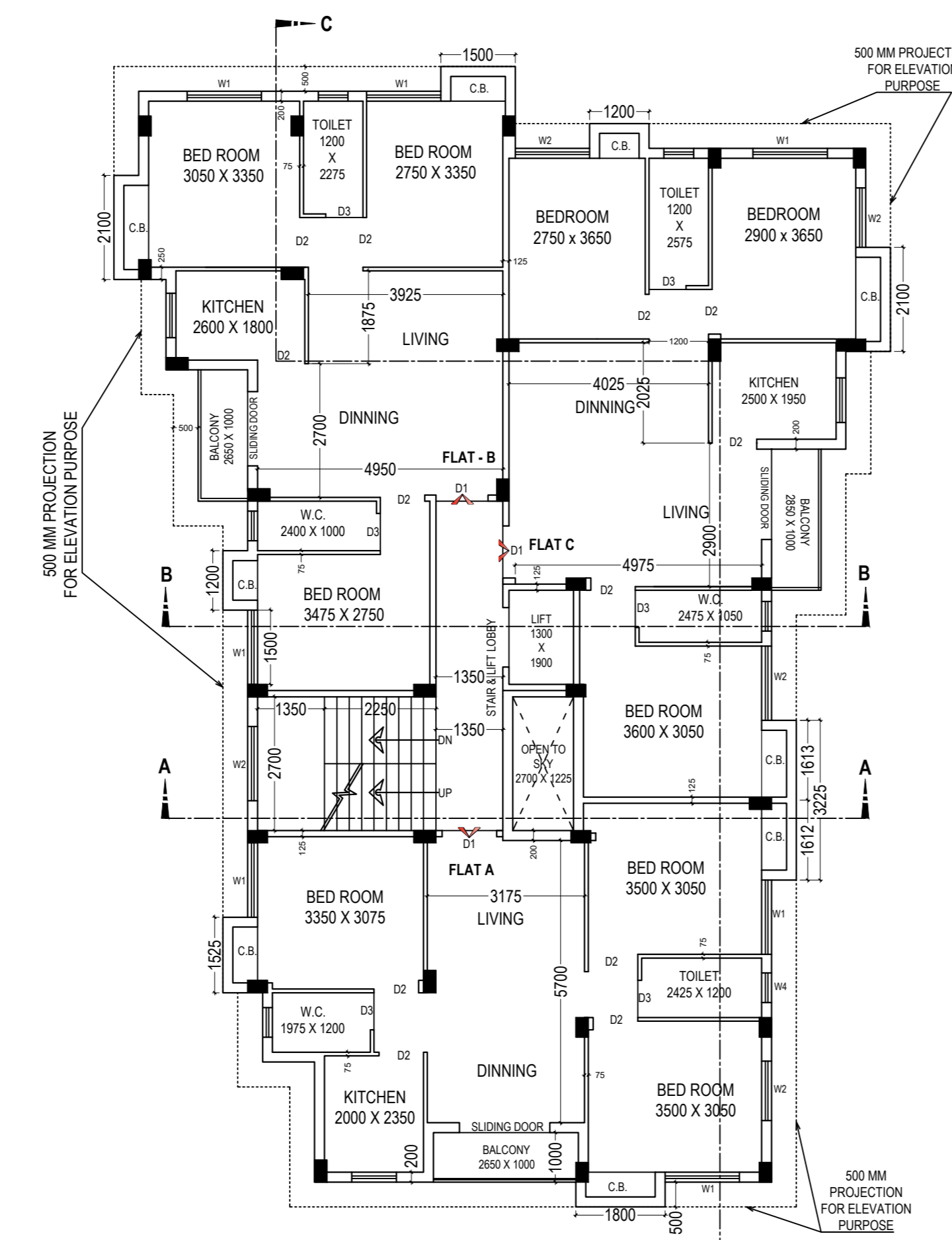
SECTION - AA (SCALE - 1:100)

SECTION - BB (SCALE - 1:100)

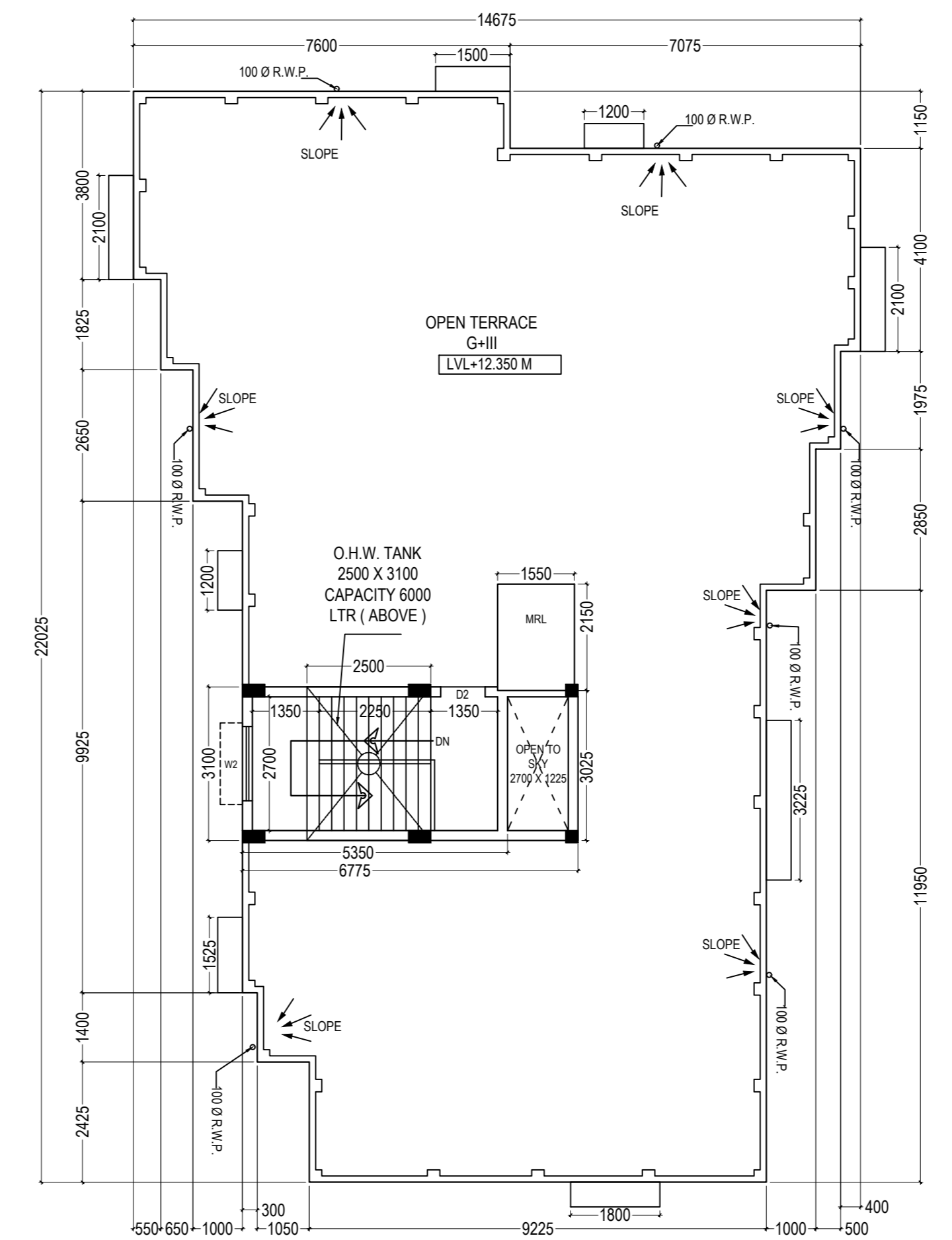
SECTION - CC (SCALE - 1:100)



GROUND FLOOR PLAN (SCALE - 1:100)



TYPICAL (1ST, 2ND, 3RD) FLOOR PLAN (SCALE - 1:100)



ROOF PLAN (SCALE - 1:100)

NOTE:
PERMISSIBLE HEIGHT IN REFERENCE TO CCZM ISSUED BY AA: 33 M
CO - ORDINATE IN WGS84 AND SITE ELEVATION (AMSLL):

REFERENCE POINTS MARKED IN THE SITE PLAN OF THE PROPOSAL	CO - ORDINATE N WGS84	LONGITUDE	SITE ELEVATION (AMSLL)
1	22.4971	88.3906	6.1
2	22.4970	88.3905	6.1
3	22.4967	88.3909	6.1

THE ABOVE INFORMATION IS TRUE AND CORRECT IN ALL RESPECT AND IF AT ANY STAGE, IT IS FOUND OTHERWISE, THEN WE SHALL BE FULLY LIABLE FOR WHICH K.M.C AND OTHER APPROPRIATE AUTHORITY RESERVE THE RIGHT TO TAKE APPROPRIATE ACTION AGAINST ME PER LAW.

ALL SORTS OF PRECAUTIONARY MEASURES WILL BE TAKEN AT THE TIME OF DEMOLITION OF EXISTING BUILDING AND CONSTRUCTION OF THE BUILDING, SEPTIC TANK AND SEMI UNDER GROUND WATER RESERVOIR.

THE DEPTH OF S.U.G.W.R. & SEPTIC TANK WILL NOT EXCEED THE DEPTH OF FOUNDATION OF NEIGHBOURING COLUMNS OF THE BUILDING.

E.E.P.# (P/2) (2.41 M) WIDE PHYSICALLY FORMED BLACK TOP ROAD AS PER LOCAL DATED: 18.06.2025.

DOOR AND WINDOW SCHEDULE:

DOORS				WINDOWS			
MKD	WIDTH	HEIGHT	DESCRIPTION	MKD	WIDTH	HEIGHT	DESCRIPTION
D1	1075	2100	W1	1500	1200	900	
D2	900	2100	W2	1200	1200	900	
D3	750	2100	W3	900	1200	900	
			W4	800	600	1500	
SLD	2000	2100	SLIDING DOOR				

STATEMENT OF PLAN PROPOSAL:

- ASSEESSEE NO. - 31-104-32-0717-2.
- AREA OF THE PLOT (As per Deed & Assessment book copy) = 7 K - 07 CH. - 27 SQ.FT = 5362 SQ.FT. = 500 SQ.M.
- AREA OF THE PLOT (As per Boundary Declaration) = 494.46 SQ.M. = 5322 SQ.FT. = 7K - 6CH. - 12 SQ.FT.
- NO. OF STORIES - G + III.

NAME OF OWNER: BASUDEV PATWARI, SUDIPTA PATWARI, SUSHANTA PATWARI, SANTI PATWARI.

NAME OF APPLICANT: 'MIS. AD. REALTORS' SOLE PROPRIETOR SMT. ANUPAMA DWARK.

K.M.C. MUTATION CASE NO. - 07/194/10 - NOV - 22/46058, DATED - 10.11.2022.

B.L.R.O MEMO NO - 36A/(169) 955 P/23, DATED - 21.02.2024.

DETAIL OF REGD DEED:

- DETAIL OF DEED OF CONVEYANCE -** BOOK NO - I, VOLUME NO - 96, PAGES - 183 TO 187, BEING NO - 2787, FOR THE YEAR 1977, D.S.R. - ALIPIUR, SOUTH 24- PGS DATED - 11.05.1977.
- DETAIL OF BOUNDARY DECLARATION -** BOOK NO - I, VOLUME NO - 1624-2024, PAGES FROM 169236 TO 169252, BEING NO - 160405430, FOR THE YEAR 2024, D.S.R. - IV SOUTH 24- PARGANAS DATED - 27.05.2024.
- DETAIL OF GENERAL POWER OF ATTORNEY -** BOOK NO - I, VOLUME NO - 1624-2024, PAGES FROM 169376 TO 169400, BEING NO - 160405432, FOR THE YEAR 2024, D.S.R. - IV SOUTH 24- PARGANAS DATED - 27.05.2024.
- DETAIL OF DEED OF GIFT (STRIP OF LAND) -** BOOK NO - I, VOLUME NO - 1630-2025, PAGES FROM 123999 TO 124010, BEING NO - 160405432, FOR THE YEAR 2025, D.S.R. - IV SOUTH 24- PARGANAS DATED - 23.06.2025.
- DETAIL OF DEED OF GIFT (STRIP OF LAND) -** BOOK NO - I, VOLUME NO - 1630-2025, PAGES FROM 123976 TO 123987, BEING NO - 163004915, FOR THE YEAR 2025, D.S.R. - IV SOUTH 24- PARGANAS DATED - 23.06.2025.

AREA STATEMENT:

PRINCIPLE USE GROUP:	RESIDENTIAL
1. AREA OF LAND (AS PER ASSESSMENT BOOK COPY & AS PER DEED) =	500.000 SQ.M
2. AS PER BOUNDARY DECLARATION =	494.46 SQ.M
3. A) SPLAY	0 SQ.M
B) STRIP OF LAND	0 SQ.M
4. (i) PERMISSIBLE GROUND COVERAGE =	50.185 % = 248.143 SQ.M
(ii) PROPOSED GROUND COVERAGE =	50.072 % = 247.585 SQ.M
5. A) HEIGHT =	12.35 M
B) ROAD WIDTH =	3.657 MT.

6. PROPOSED AREA CALCULATION:

AT FLOOR	COVERED AREA	LIFT WELL	GROSS FLOOR AREA	STAR & STAIR LOBBY	LIFT LOBBY	NET FLOOR AREA
GROUND	247.585	-	247.585	13.365	2.565	231.655
1ST	247.585	2.47	245.115	13.365	2.565	229.185
2ND	247.585	2.47	245.115	13.365	2.565	229.185
3RD	247.585	2.47	245.115	13.365	2.565	229.185
TOTAL	990.340	7.41	982.930	53.460	10.260	919.210

6. TENEMENTS & CAR PARKING CALCULATION:

MARKED	TENEMENT SIZE (SQ.M.)	PROP. AREA TO BE ADDED (SQ.M.)	ACTUAL TENEMENT AREA (SQ.M.)	NO. OF TENEMENT	NO OF CARPARKING REQUIRED
A	73.839	9.635	83.474	03	04
B	72.380	9.445	81.825	03	04
C	78.525	10.247	88.772	03	04

7A. TOTAL REQUIRED CAR PARKING - 4

7B. TOTAL PROVIDED CAR PARKING - 4

OPEN (1 LAYER)	OPEN (2 LAYER)	COVERED (GR) 1 LAYER	COVERED (GR) 2 LAYER	COVERED (OTHER) 1 LAYER	COVERED (OTHER) 2 LAYER
0	0	4	0	0	0

8. PERMISSIBLE AREA FOR PARKING - MINIMUM OF NUMBER OF CAR PROVIDED AND REQUIRED & LOCATION (IN SQ.M)

100	768	SQ.M.
9. PROVIDED AREA OF PARKING -	180.768	SQ.M.
10. PERMISSIBLE A.R. =	1.75	
11. PROPOSED F.A.R. =	1.657	
12. STAIR HEAD ROOM AREA -	16.585	SQ.M.
13. MACHINE ROOM LESS LIFT AREA -	3.33	SQ.M.
14. OVER HEAD TANK AREA -	7.75	SQ.M.
15. PROPOSED AREA OF CUP-BEARD =	21.93	SQ.M.
15. (ii) PERMISSIBLE AREA OF CUP-BEARD = (882.93 X 3%) =	29.488	SQ.M.
16. TERRACE AREA -	247.585	SQ.M.
17. ADDITIONAL AREA FOR FEES =	39.47	SQ.M.
18. TREE COVER AREA -	PERMISSIBLE 12.242 SQ.M. PROPOSED 13.00 SQ.M.	

CERTIFICATE OF STRUCTURAL ENGINEER:

THIS IS TO CERTIFY THAT THE STRUCTURAL DESIGN & DRAWINGS OF BOTH FOUNDATION AND SUPER-STRUCTURE OF THE BUILDING HAS BEEN MADE BY ME CONSIDERING ALL POSSIBLE LOADS INCLUDING THE SEISMIC LOAD AS PER NATIONAL BUILDING CODE OF INDIA AND CERTIFIED THAT IT IS SAFE AND STABLE WITH ALL RESTRICTS. SOIL TESTING HAS BEEN DONE BY BHASKAR JYOTI ROY, J.B ASSOCIATES OF 1418, MAYABAD, PANCHASAYER, KOLKATA - 700018. THE RECOMMENDATIONS OF SOIL TEST REPORT HAS BEEN CONSIDERED DURING STRUCTURAL CALCULATION.

DRIPTA BANDYOPADHYAY (E.S.E. II / 649)
NAME OF STRUCTURAL ENGINEER

DECLARATION OF GEO-TECHNICAL ENGINEER:

UNDERSIGNED HAS INSPECTED THE SITE AND CARRIED OUT SOIL INVESTIGATION THEREON. IT IS CERTIFIED THAT THE EXISTING SOIL OF THE SITE IS ABLE TO CARRY THE LOAD COMING FROM THE PROPOSED CONSTRUCTION AND THE FOUNDATION SYSTEM PROPOSED HEREIN IS SAFE AND STABLE IN ALL RESPECT FROM GEO-TECHNICAL POINT OF VIEW.

BHASKARJYOTI ROY (G.T.E. II / 50)
NAME OF GEO TECHNICAL ENGINEER

CERTIFICATE OF ARCHITECTURE:

I DO HEREBY CERTIFY WITH FULL RESPONSIBILITY THAT THE BUILDING PLAN HAS BEEN DRAWN UP AS PER PROVISION OF K.M.C. BUILDING RULES OF 2009 AS AMENDED TIME TO TIME THAT THE WIDTH OF THE ABUTTING ROAD IS CONFORM WITH THE BUILDING PLAN AND IT IS NOT A TANK OR A FILLED UP TANK. THE SITE IS DEMARKED BY BOUNDARY WALLS AND MEASUREMENT AGREED WITH THE DEED PLAN, IT IS FULLY OCCUPIED BY THE OWNER AND THERE IS NO TENANT. THE ABUTTING WEST SIDE ROAD WIDTH IS 3.657 & 3.73 M. SOUTHERN SIDE ROAD WITH IS 6.09M & 5.9M. THE PLOT IS BEYOND 50 METERS FROM THE CENTRE LINE OF E.M.B.YE PASS.

ANIRBAN CHOWDHURY
Regn No. CA/99/24259
NAME OF ARCHITECT

PROJECT:

PLAN OF PROPOSED G+III STORIED RESIDENTIAL BUILDING U/S 393A OF K.M.C ACT 1980 COMPLYING B/KR 2009, AT PREMISES NO- 382, PATOARY PARA, KOLKATA - 700075, WARD -104, BOROUGH - XI, DIST - 24 PARGANAS (SOUTH), UNDER K.M.C. MOUZA - SANTOSHUPUR, J.L.NO. - 22, R.S.DAG NO. - 789, R.S. KHATIAN NOS. - 501, L.R. KHATIAN NOS. - 1143, 1858, 1859, 1862, POLICE STATION - GARFA.

DRAWN BY - RIMA
CHKD BY - ANIRBAN CHOWDHURY

SCALE - 1:100 (OTHERWISE MENTIONED)
DATE - 08.09.2025
SHEET NO - 1

BRG. NO. - eodh/2025
SUB. CL. NO. - 26

ARCHITECTS
AMZ ASSOCIATES
CONSULTING ARCHITECTS & ENGINEERS
C 06 LAKE GARDENS, KOLKATA - 700045.
Contact No - 9830041156
Email - amz.associates@gmail.com
Web - www.amzassociates.net

BUILDING PERMIT NO. - 2025110187
SANCTION DATE - 22.09.2025
VALID UPTO - 21.09.2030

DECLARATION OF OWNER:

WE DO HEREBY DECLARE WITH FULL RESPONSIBILITY THAT

- WE WILL ENGAGE B.A. & E.S.E. DURING CONSTRUCTION
- WE WILL FOLLOW THEIR INSTRUCTIONS
- K.M.C. AUTHORITY WILL NOT BE RESPONSIBILITY FOR STABILITY OF THE STRUCTURE
- K.M.C. AUTHORITY WILL REVOKE SANCTION IF ANY DOCUMENT IS FOUND FAKE
- IF ANY DOCUMENT IS FOUND FAKE BY ME AND THE PLOT IDENTIFIED BY ME, K.M.C. WILL REVOKE SANCTION IF ANY DOCUMENT IS FOUND FAKE OR WRONG.
- THE PLOT IS IDENTIFIED BY US DURING DEPARTMENTAL INSPECTION

SMT. ANUPAMA DWARK
SOLE PROPRIETOR OF
MIS. AD. REALTORS
&
CONSTITUTED ATTORNEY
OF
BASUDEV PATWARI,
SUDIPTA PATWARI,
SUSHANTA PATWARI,
SANTI PATWARI.

NAME OF OWNER'S